

Cervetto Specific Plan
City of La Habra, California

City of La Habra
201 East La Habra Boulevard
La Habra, California 90631

Cervetto Specific Plan

**1001 East Whittier Boulevard
La Habra, California**

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1) Introduction

- a) The City initiated a Mitigated Negative Declaration (MND) for the Specific Plan that examines the potential impacts associated with the Specific Plan's implementation. Once adopted, the findings and conclusions of the MND will be published and submitted as an addendum to this document at a later date. The Land Use Plan, Urban Design Plan, and the Infrastructure Plan included herein provide specific guidance concerning future development within the Planning Area.
- b) The City intends to achieve the following objectives with implementation of the Specific Plan.
 - i) Timely redevelopment and reuse of the Planning Area.
 - ii) Ensure that the development permitted under the Specific Plan is consistent with the existing and future development located adjacent to the Planning Area.
 - iii) Promote new development that will benefit the City and its constituents.
 - iv) Eliminate, or reduce the potential adverse environmental effects associated with future development within the Planning Area.

2) Relationship to the City of La Habra General Plan (the "General Plan")

- a) The Specific Plan will be consistent with the General Plan (Exhibit 12).
- b) The General Plan promotes the use of specific plans as a means to facilitate a comprehensive planned development process for key areas of the City. Specific Plans are designed to provide both the City and property owners flexible development standards within designated planning areas. In this way, development standards may be tailored to match the unique characteristics of a particular area while meeting the goals of the General Plan. As a result, the Specific Plan is designed to serve as a bridge between the General Plan and more specific development proposals that might occur within the Planning Area.

3) Authority of Specific Plan

- a) The California Government Code (Section 65450 et seq.), etc., authorizes the preparation of specific plans to implement a jurisdiction's general plan (Exhibit 13).

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- b) State law provides limited guidance regarding the content and scope of a specific plan, indicating that a specific plan must address the distribution, location, and extent of land use; the infrastructure (both public and private) necessary to support the land use plan; standards and criteria for natural resource preservation (where applicable); and an implementation plan. A specific plan must also include a statement of the relationship of the specific plan to a local general plan.
- c) This Plan complies with Government Code Sections 65450-65457 and defines land use regulations, development standards, and architectural guidelines to permit for the construction of single family detached residential units.
- d) The regulations contained herein take precedence over the zoning regulations contained in Title 18 of the City of La Habra Municipal Code (the "Municipal Code"). If the development regulations within this Specific Plan do not address a particular issue, the City of La Habra Zoning Ordinance and the City of La Habra regulations shall govern.
- e) The Developer of the Cervetto Specific Plan property shall comply with the Plan and other City regulations in developing the property subject to the Specific Plan.
- f) Following the adoption of the Specific Plan by the City Council, all subsequent development within the Planning Area must be consistent with the Specific Plan's regulations and standards.

4) Location and Setting of the Planning Area

- a) The area subject to the Specific Plan is located within the City of La Habra in the northern portion of Orange County.
 - i) The Planning Area is located at 1001 East Whittier Boulevard (Exhibit 1).
 - ii) The surrounding uses consist of commercial and residential development.
 - iii) The Planning Area is shown on the aerial photograph (Exhibit 2).
- b) The main entrance for the proposed residential development will be accessed from Whittier Boulevard.
- c) Don Steves Chevrolet formerly occupied the Planning Area. Whittier Boulevard was the primary site access for the Don Steves Chevrolet operation. The Don Steves Chevrolet support structures and site improvements will be demolished and the site will be graded and improved

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for residential use.

- d) The Planning Area is located in the midst of a diverse neighborhood consisting of residential developments and commercial areas. Directly north of the property is a single-family residential area. The east side of the site is occupied by a Stater Brother's Shopping Center and accompanying parking lot. On the west side and on the south side of the site across Whittier Blvd., are multiple small to medium sized commercial businesses (Exhibit 2).

5) Goals and Objectives of this Specific Plan

- a) This Specific Plan defines land use regulations, development standards, and architectural guidelines for future development within the Planning Area. The Plan and the conforming Site Plan are regulatory tools that the City, Developer, property owners, and the development community will refer to for design guidance. The Specific Plan replaces standard zoning regulations applicable to the Planning Area. The goals and objectives established for the Planning Area through the Specific Plan include guidance to:
 - i) Provide a comprehensive land use plan based on planning principals that designate the type, distribution, location, and extent of land uses, roadways, and improvements within the Planning Area.
 - ii) Establish design guidelines, development regulations, and other procedures to guide the development and to provide appropriate architectural themes that are consistent with the City's vision and important landmarks.
 - iii) Ensure that the existing and future neighborhood character is maintained.
 - iv) Provide adequate public infrastructure improvements required to support the land use envisioned under the Specific Plan.
 - v) Provide for the long-term maintenance of all improvements by a homeowner's association ("HOA") through Covenants, Conditions, and Restrictions ("CC&Rs"). Identify strategies to implement the planning concepts.

6) Introduction to Land Use Plan

- a) This section of the Specific Plan establishes land use and development standards for the Planning Area. The objective of the Specific Plan is to identify those land uses that will facilitate the Planning Area's timely reuse. The Land Use Plan herein contains specific guidelines, regulations, and standards for residential development. These

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standards describe the uses permitted for the residential development including:

- i) Permitted density of development.
- ii) The maximum building height.
- iii) Floor area standards.
- iv) Parking requirements.
- v) Other requirements.

7) Development Standards

a) Permitted Uses in the Planning Area

- i) The Specific Plan permits up to 32 single-family residential detached units to be constructed within the area subject to the Site Plan (Exhibit 4).

b) Residential Development Standards

- i) This section outlines the development standards that will be applicable to any future residential development within the Planning Area.

c) Building Height

- i) Buildings shall not exceed a maximum of three (3) stories and be no more than 35 feet in height.

d) Dwelling Units Size, Minimum

- i) The minimum size floor area of each individual dwelling unit shall not be less than 2,000 square feet. Square footage devoted to the garage shall not be counted towards meeting the minimum dwelling unit size requirement.

e) Setbacks and Exclusive Use Areas

- i) The following standards shall apply within the Specific Plan area:
 - (1) Front Setback-A minimum setback of 18 feet shall be provided from the garage door fronting onto the private streets measured from the front property line of the residential lot. Setback to living space from

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the front property line of the residential lot shall be a minimum of ten (10) feet excluding projections. Projections is defined as cornices, canopies or awnings, eaves, balconies, landings, window boxes or other similar architectural features not providing additional floor space within the building, may extend into the required setback area no more than thirty-six inches. Projections to be added to structures after development of the project shall be approved by the HOA and the City of La Habra.

- (2) Rear setbacks- A minimum of a ten foot setback, excluding projections, shall be provided measured from the rear property line of the residential lot.
- (3) Side setbacks- A minimum setback of five (5) feet, excluding projections, shall be provided measured from the side property line of the residential lot.
- (4) Exclusive Use Areas (Open Yard Area)- Their use and limitations shall be described in the CC&Rs.
- (5) Each Exclusive Use Area (Open Yard Area)- shall comply with the following minimum standards:
 - (a) The use area shall not be less than 450 square feet.
 - (b) The use area is defined by the Tract Map as approved by the Department of Real Estate and recorded with the CC&Rs (Exhibit 3).
 - (c) The use area shall be fenced consistent with the Tract Map Boundaries.
 - (d) A portion of the rear yard square footage shall have minimum dimensions of forty-four (44) feet by twelve (12) feet.
- (6) Patio/Shade structures may project a maximum of 10 feet into an Exclusive Use Area but shall have a minimum setback of 3 feet from any property line.
- (7) Shade Structures shall not cover more than 50 percent of an Exclusive Use Area. The area under a shade or patio structure shall be considered open yard area.
- (8) Shade Structures are limited to the overhead structure only and shall not be enclosed.

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(9) In no instance shall buildings be closer to each other than 8 feet.

(10) Actual site development, setbacks and the Exclusive Use Areas are specific to the tract map (Exhibit 3).

f) Development Intensity

i) Total units per gross acre shall be equal to no more than 5.94 per acre.

g) Lot Coverage

i) The maximum building lot coverage for each numbered lot shall not exceed 40%. Patio shade structures are not considered buildings for the purposes of lot coverage.

h) Landscaping, Common Areas

i) The Developer shall install all common area landscaping within the project boundaries, interior common use areas, and the public right-of-way areas along Whittier Boulevard.

ii) The Developer shall maintain all common areas, interior common use areas, and the public right-of-way areas along Whittier Boulevard landscaping until the project is conveyed to the HOA.

iii) Maintenance of landscape areas is required at all times and shall include the replacement of all dead plant material as necessary.

iv) All landscape maintenance activities for all common areas, interior common use areas, and the public right-of-way along Whittier Boulevard shall be the responsibility of the HOA after conveyance by the Developer.

v) Landscape improvements, as approved by the City, shall be maintained by the HOA (Exhibit 5).

vi) Exclusive Use Areas are the responsibility of the individual home owner.

i) Parking Requirements

i) The following parking requirements are applicable to the Specific Plan area.

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(1) Parking, Number of Spaces Required

- (a) A two (2) car garage shall be constructed for each home to be used for vehicle parking.
- (b) One (1) car lift per dwelling unit within the private garage is allowed.
- (c) A minimum of two (2) off-street parking spaces shall be provided per home in individual private driveways measuring a minimum of 18' x 18'.
- (d) In addition, not less than 22 marked guest parking spaces shall be provided on the private streets.

(2) Parking, Space Dimension

- (a) Parking space size for individual homes shall conform to published City standards for the garage.
- (b) Each guest parking space is to have a minimum width of eight (8) feet by twenty (20) feet for end spaces and eight (8) feet by twenty four (24) feet for middle parking spaces located on the private streets.
- (c) The private streets shall be 36 foot wide to comply with Los Angeles County Fire Department standards for emergency vehicle access by providing for a 20 foot clear travel way with eight (8) feet on each side of the street for parking.
- (d) Each guest parking space is indicated on the Site Plan by driveway delineations for each unit and striping for the private streets.

j) Parking, On Street-Whittier Boulevard

- i) All parking needs for the Specific Plan must be fulfilled on-site. The City may at any time eliminate on-street parking along Whittier Boulevard as may be necessary.
- ii) The City will not issue public on-street parking permits for residents within the Specific Plan.

k) Circulation

- i) The access and Private Street parking layout must provide adequate

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room for emergency vehicles to maneuver within the project. All areas designated as Fire Lanes shall be posted and vehicles parked in these areas shall be towed. The HOA is responsible for enforcement of this requirement. All fire lanes shall be marked prior to the first Certificate of Occupancy. Available parking on private streets and fire lanes shall be disclosed to the Homeowner prior to close of escrow.

- ii) The traffic study indicated that the project site access be restricted to SU-30 trucks and smaller. The applicant/developer shall post a sign at the entrance to the site noting that trucks over 30 feet in length are prohibited. Said sign shall be maintained in good condition at all times.

i) Parking Spaces, Use of

- i) All parking, including garages, shall be used for the parking of operable vehicles, and shall not be used for storage.
- ii) The storage of recreational vehicles, boats, trailers, or other vehicles is prohibited in the Specific Plan area.
- iii) Parked vehicles may not overhang the private sidewalks or private roadway within the association common area.

m) Walls and Fences

- i) A decorative composition block wall must be provided along the Planning Area's road frontage of Whittier Boulevard and along the eastern property line. Maintenance of these walls is the responsibility of the HOA.
- ii) The wall's architecture, building materials, and color must be consistent with the architecture of the community and surrounding landmarks. This consistency will help create an attractive parkway area along the entire Whittier Boulevard frontage.
- iii) The perimeter wall immediately adjacent to the Whittier Boulevard right-of-way shall have a maximum height of eight (8) feet. In addition, the Developer shall provide landscaping along the exterior perimeter, including irrigation (Exhibit 5). Maintenance of this wall and the landscaping shall be the responsibility of the HOA.
- iv) Interior fencing of Exclusive Use Areas will be governed by the Fence Plan (Exhibit 22). In addition, a minimum setback of two (2) feet shall exist alongside street setbacks. The two foot setback

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shall be planted with a climbing vine to discourage graffiti.

- v) The Exclusive Use Area for each home will be secured with a six (6) foot high vinyl fence. Maintenance of the fence is the responsibility of the individual homeowner.
 - vi) Additional fencing will be allowed in the Exclusive Use Areas only as approved by the HOA.
 - vii) Vinyl fences will be provided between individual homes as part of the project's landscaping plan.
 - viii) The Developer will provide a manufacturer's cut sheet of planned fencing for City approval prior to installation. Final wall and fencing location shall be subject to prior review by the City Engineer and Director of Community Development to confirm that adequate sight distances are maintained. It is the responsibility of the HOA to insure individual property owners conform to the approved plan.
- o) Utilities, Dry
- i) All dry utilities, including electrical, telephone, gas, and CAT V shall be placed underground.
- p) Public Entrances, Access
- i) Access into the property is governed by the Specific Plan as indicated on the Site Plan, and is subject to approval by the Planning Commission and City Council.
 - ii) Any project access control gates shall be reviewed and approved by the Los Angeles County Fire Department under contract by the City of La Habra for fire services, the La Habra Police Department, and the Director of Community Development.
 - iii) Such gates shall be maintained by the project HOA.
- q) Screening of Mechanical Equipment
- i) All mechanical equipment shall be screened behind a permanent structure, or dense landscaping.
 - ii) No visible roof-top air conditioning equipment will be permitted.
 - iii) Optional solar panels and ancillary equipment must be installed in a manner

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so as not to be visible from the public right-of-way where possible.

r) Trash Management

- i) Project residents will be expected to abide by the City regulations concerning the accumulation, storage, and disposal of trash.
 - ii) Individual trash containers will be utilized, and residents will be responsible for placing containers at an accessible location for pickup on designated trash collection days at the private street curb.
 - iii) Each home shall have not less than two (2) trash containers, one (1) for trash, and one (1) for recycling.
 - iv) Trash containers will be stored within the fenced area (Exclusive Use Area) belonging to each home, or within the garage.
 - v) Trash collection logistics will be reviewed and adjusted in accordance with the standards of the County of Orange or other city approved franchised hauler.
 - vi) Trash collection shall be planned and occur in a manner that eliminates impacts to on-site circulation of all transportation. Trash pick-up on the stub-street shall be placed and collected on the north side of the private street and light posts and on-street parking spaces will be installed on the south side of the private street (Exhibit 23).
- s) Walkways- The HOA will be responsible for the maintenance of the private common sidewalk located within the project.

8) Introduction to Urban Design Plan

- a) The design standards and guidelines contained herein have been established to promote quality and attractive development, to ensure land use compatibility, and to provide guidance with respect to building mass and form, architectural styling, color and materials, and landscape design.
- b) All development within the Specific Plan Area will be designed to be compatible with surrounding uses and the character of surrounding development (both existing and proposed).
- c) The criteria discussed in this section focus on design requirements, standards, and guidelines permitted by the Specific Plan. This section consists of the following elements:
 - i) Design criteria and guidelines for the permitted residential uses.

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- ii) Standards outlining development requirements applicable to future residential development.
 - iii) Design standards applicable to future residential uses.
 - iv) Landscaping design standards.
- d) The guidelines contained in this section indicate the minimum design requirements that must be adhered to in order to obtain planned conformity. Any future development application will undergo review by the Director of Community Development to ascertain the development's conformity with the Specific Plan.

9) Residential Design Criteria and Guidelines

- a) The design theme and facade treatment shall be consistent with the Spanish Monterey, American Heritage and/or Traditional Styles, with materials such as manufactured stone veneer, exterior plaster and rich earth tone colors, as generally shown on the conceptual elevations depicted in Exhibits 15, 16, and 18. Design elements, including but not limited to the use of offsets and recesses, staggered roof lines, decorative wrought iron, manufactured stone veneer and shutters shall be provided consistent with the conceptual elevations included as Exhibits 15, 16, and 18. Materials and colors shall be consistent with those shown on the sample board on file in the Community Development Department. The floor plans shall substantially conform to the floor plans as shown in Exhibits 17 and 19.

i) Entries and Driveways

- (1) Entries and driveways shall be clearly identified.

ii) Architectural Details

- (1) Architectural details including porches, decorative door and window designs, roof overhangs with decorative brackets and rafter tails, iron details, rough sawn porch and balcony railings and lighting fixtures consistent with the project's architectural style provide visual interest and are strongly encouraged.

iii) Facade Treatment

- (1) Façade treatment should be consistent for all building planes of the structure.

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- (2) Architectural details consistent with the structure's prevalent architectural style should be incorporated on all facades visible from a public right-of-way.
- (3) Front and rear facades will be fenestrated with windows and doors to provide visual relief from the appearance of mass and large expanses of blank wall surface.
- (4) Final colors and applied surfaces shall be maintained as approved by the Director of Community Development and shall be included within the recorded CC&Rs (to be submitted prior to final map being approved by the City Council).
- (5) Windows and doors should be consistent in shape, style, and size to each other.

iv) Facade Articulation

- (1) Facades will be articulated to provide visual relief from the appearance of mass and large expanses of blank wall surface.
- (2) Permitted projections such as bay windows and cantilevered, open and enclosed balconies provide visual interest and relief to the façade.
- (3) Window placement will optimize the livability and privacy of each individual home. For architectural elevations see Exhibits 15, 16, and 18.

v) Lighting, Accessory

- (1) Exterior lighting must be positioned so that no direct light extends onto neighboring properties.
- (2) Illumination must also be screened from adjacent properties.
- (3) House numbers are to be illuminated per City standards.
- (4) Applied pedestrian lighting fixtures shall reflect the architectural style.

vi) Lighting, Street

- (1) A final decorative private pedestrian street lighting plan, with fixture design and style to compliment the project design, shall be submitted to the Director of Community Development for approval prior to construction. The HOA shall be responsible for maintaining all

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Common Area lighting fixtures.

vii) Landscaping, Street Trees

- (1) One (1) street tree must be planted on each lot (for each home) (Exhibit 5).
- (2) Not less than one (1) tree shall be planted for every 20 feet of street frontage on the Whittier Boulevard frontage.
- (3) Not less than one (1) tree shall be planted for every 20 feet of street right-of-way within the Plan.

viii) Landscaping, Control of Storm Water Runoff and Erosion

- (1) The landscaping must be designed so as to facilitate the absorption of rain fall.
- (2) Permeable surfaces shall be employed wherever possible to maximize percolation of irrigation and storm waters.

ix) Landscaping, Water Conservation

- (1) Where appropriate, landscaping shall incorporate compatible species of drought-tolerant vegetation.
- (2) Developer shall provide a Water Quality Management Plan ("WQMP") containing permeability standards that, after City approval, will be enforced by the HOA. The final WQMP will be filed with the City Engineer.

x) Landscaping, Screening

- (1) Wherever possible, landscaping shall be employed as a means to screen mechanical equipment, transformers, or similar devices from public view.

xi) Landscaping, Walls and Fences

- (1) Blank building surfaces, fences, and walls should incorporate adjacent landscaping to screen large masses of blank surface area, particularly where such features are visible from the public right-of-way.

xii) Roofing

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- (1) Roofing materials shall be limited to tile and/or composition commodities meeting Uniform Building Code and City requirements, and shall be maintained as approved by the City Council.

10) Introduction to Infrastructure Plan

- a) This section of the Specific Plan provides an overview and framework for the future infrastructure and improvements required to serve the development permitted under the implementation of the Specific Plan. The following development concepts were considered in the formulation of the Infrastructure Plan:
 - i) The circulation system and infrastructure required to serve potential future infill development must be designed so as to minimize the traffic impacts to Whittier Boulevard.
 - ii) The infrastructure required to serve any future development must be designed and programmed in a manner to accommodate the infill development.
- b) This chapter of the Specific Plan includes the following sections:
 - i) The **Circulation Plan** indicates the location and extent of roadways contemplated as part of the Specific Plan's implementation. This section also contains those guidelines and standards related to internal circulation and future roadway improvements.
 - ii) The **Utilities Plan** indicates development standards related to utilities and infrastructure that will be required to serve development within the Specific Plan area.
 - iii) The **Public Services Plan** indicates the development standards related to public services that will be required to serve future development.

11) Circulation Plan

- a) This section outlines those requirements that will be applicable to the future residential development permitted under the Specific Plan. At a minimum, the Circulation Plan shall provide adequate access/driveway design, and assurances that the public right-of-way will not be impacted.
- b) Off-site Traffic Improvements - The Developer will install improvements as set forth in the final Mitigated Negative Declaration and conditions of project approval.

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- c) Whittier Boulevard Frontage - A minimum 15 foot landscape setback from the property line along Whittier Boulevard will be provided.
- d) Internal Sidewalks/Parkways. These facilities shall be constructed in accordance with the approved Site Plan and City standards.
- e) The Developer will be responsible for the initial development of all street improvements within the Specific Plan area including roadways, landscaped parkways, lighting, and sidewalks.
- e) Required Circulation Plan elements, including appropriate cross sections, are found on the Site Plan and are subject to City Council approval (Exhibit 3a).

12) Utilities Plan

- a) The infrastructure requirements applicable to the future residential development permitted under the Specific Plan:
 - i) Storm Drain Improvements. The site will be graded to direct all surface water to the catch basins as indicated on the Site Plan. As-built mylars of final city approved storm drain improvements plans will be attached to this document as Exhibit 20.
 - ii) Water System Improvements. The Developer will tie all new water lines into the existing main lines in accordance with City requirements. As built mylars of final city approved improvement plans will be attached to this document as Exhibit 20.
 - iii) Fire Flow. Fire flow requirements for public and private hydrants shall be provided in accordance with the requirements of the Los Angeles County Fire Department under contract with the City for fire services.
 - iv) Water Conservation, Landscaping. The Developer shall prepare and submit for City approval a landscaping plan that provides water-efficient irrigation systems (i.e. drip irrigation, automatic shut-offs, soil moisture sensors, automatic controllers and valves, and related conservation devices). The plan shall be developed in accordance with the City's Water Conservation requirements (Exhibit 24).
 - v) Water Conservation, Plumbing. Water conserving plumbing fixtures and appliances shall be used in all new construction. These fixtures shall include low flush toilets, low-flow showerheads, low-flow faucets, water-efficient appliances and equipment, and an on-site leak detection program.
- (1) All applicable sections of Titles 20 and 24 of the California Code of Regulations regarding water consumption and conservation shall be enforced.

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vi) Water Conservation, Management. The HOA will be responsible for employing Best Management Practices ("BMPs") in the maintenance of water quality management obligations for the property in accordance with City water quality management requirements, and approved Water Quality Management Plan. The CC&Rs shall include BMP maintenance obligations by the HOA (Exhibit 21).

vii) Sewer System Improvements.

(1) In compliance with the Orange County Sanitation District's regulations, the Developer will provide all required on-site sewer infrastructure and pay a sewer system connection fee that will be used for the operation of wastewater collection, treatment, and facilities maintenance and construction.

(2) Development plans shall be submitted to the City to determine the required sewer system improvements. On-site sewer lines and connections shall be provided in accordance with City requirements and accepted engineering standards. As-built mylars of final city approved sewer improvements plans will be attached to this document as Exhibit 20.

b) Storm Drainage.

i) Adequate storm drain facilities shall be constructed prior to the occupancy of the proposed project, in accordance with the City public works improvement standards.

ii) On-site activities shall comply with storm water quality management requirements of the City and County, with appropriate permits prior to connection to the public agency drainage system.

iii) These activities may include implementation measures designed to reduce the quantity of street pollutants that enter the local storm drainage system both during construction and after permanent facilities have been built.

iv) On-site facilities shall be maintained by the HOA as approved and required by the City (Exhibit 20).

c) Storm Water Management

i) Future development permitted under the Plan shall comply with the City's storm water management guidelines and approved Water Quality Management Plan.

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- ii) Project development will be required to connect to the existing off-site storm drain system as permitted by the City (Exhibit 20).

d) Landscape Setbacks, Whittier Boulevard

- i) Along the planning areas boundary with Whittier Boulevard, the Developer shall be responsible for the development of the landscaped setback areas from the face of the curb. The HOA will be responsible for maintenance of the Whittier Boulevard frontage of the Specific Plan boundary from the face of the curb.

e) Sidewalks, Maintenance of

- i) The maintenance of the sidewalks interior to the project shall be the responsibility of the HOA.
- ii) The HOA shall also be responsible for the maintenance of all improvements from the curb face at Whittier Boulevard along the project frontage, including the parkway, parkway lighting, sidewalks, and any pedestrian furniture.
- iii) All of these areas shall be maintained in conformance with requirement of the City.

f) Curbs, Gutters, and Sidewalks

- i) Unless otherwise provided for in this Specific Plan, or approved by the City Engineer, all such improvements shall conform to City published standards.

g) Infrastructure, Responsibility for Provision of

- i) The project Developer will be responsible for removing existing infrastructure and installing new infrastructure to serve the development as required by the City, in conjunction with new development.
- ii) Following the construction period, responsibility for lateral connections within association property shall fall to the HOA.

h) Public Services, Other

i) Mailboxes

- (1) The Developer will be responsible for providing individual mail boxes for all residences designed to match the architectural design of the project.

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(2) The mailbox plan, including the use of ganged boxes, shall be subject to the approval of the City and the U.S. Postal Service.

i) Dry Utility Services

i) The Developer shall provide the necessary dry utility services, including gas, telephone, electricity, and cable services in accordance with City standards.

(1) All utilities shall be placed underground.

(2) Transformers shall not exceed three (3) feet in height, unless otherwise required by utilities, with location to be approved by the City. Any such above-ground utility boxes shall be provided with landscape screening.

13) Introduction to the Implementation Plan

a) The Plan will serve as the primary public policy regulatory document for the Planning Area. The Planning Area shall be as depicted on the Vesting Tract Map No. 17651 (Exhibit 3). The La Habra Planning Commission and City Council shall approve the initial development project in accordance with the approved zone change. Subsequent approval or modifications of the plans shall be through the procedures established within the La Habra Planned Unit Development Overlay Zone code sections 18.52.090, 18.52.095, and 18.52.100.

b) The consistent application of the standards contained in this Specific Plan will ensure the Planning Area's development reflects the community's overall vision for the larger community.

c) The La Habra Zoning Ordinance will be amended to reflect the Specific Plan as it applies to the Planning Area.

d) The Plan may also be amended as necessary to be consistent with the General Plan.

e) An ordinance will be adopted to establish the Specific Plan Area.

f) Future development within the Specific Plan's Planning Area, and/or development by subsequent property owners shall be required to conform to standards and guidelines contained herein.

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14) Enforcement of the Specific Plan

- a) The Director of Community Development shall have the duty to enforce this Plan.
- b) Any person found by a court of competent jurisdiction to have violated use of the building or structure hereafter erected, built, maintained or used contrary to provisions of the Specific Plan shall be judged guilty of an infraction or misdemeanor in accordance with the La Habra Municipal Code.
- c) Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission and, if needed, appealed to the City Council.
- d) Unless otherwise specified, all development within the Planning Area governed by the Specific Plan shall comply with the terms of the Specific Plan.
- e) Maintenance of landscaping, signage, parking areas, streets, structures, fences, and other amenities described herein or approved by the City Council will be the responsibility of the property owner(s) and HOA to maintain.
 - i) No development outside of the Exclusive Use Area shall be permitted without prior approval of the HOA and the City of La Habra as noted within this document.
 - ii) The maintenance responsibilities of the HOA shall include all HOA deeded property along with all improvements located within the public right-of-way along Whittier Boulevard from the face of the curb to the front property line of the Specific Plan.
 - iii) The relevant Conditions of Approval and the CC&Rs will be enforced by the HOA through written notice and financial penalties. If the City ends up having to be the enforcing agency, the related cost of the enforcing actions will be paid for by the HOA.
- f) Failure to maintain those improvements described herein or approved by the City Council, will constitute a failure to comply with the provisions of this Specific Plan.
- g) The Community Development Director shall have the responsibility for interpreting, implementing, and enforcing compliance with the provisions of this Specific Plan, including acceptance of alternate

Cervetto Specific Plan

means and methods consistent with Specific Plan goals and standards.

- h) The provisions of the Specific Plan and conditions placed on the project by the City Council shall take precedence over the Municipal Code, Title 18, and carry the same force of law.
- i) Where a particular regulation or standard is not specifically addressed in this Specific Plan, the relevant provision of the Municipal Code, Title 18, shall govern.
- j) If any regulation, standard, or other provision of the Specific Plan, or any portion thereof, is found by a court of competent jurisdiction to be invalid, the remaining portions of this Specific Plan shall remain valid.
- k) The CC&Rs, subject to approval by the City Attorney and the Director of Community Development, shall provide guidelines for appropriate uses within the community consistent with the Specific Plan.
- l) Prior to recordation, the proposed CC&Rs shall be submitted to the City for review and approval.
- m) These governing documents and rules are legally enforceable by the HOA, unless a specific provision conflicts with federal, state or local laws.
- n) CC&Rs shall also require care and maintenance of street frontage trees and all other Common Area landscaping.

15) Additions within Exclusive Use Areas/Homeowner Association Area/Homeowners Association Areas

- a) Individual homeowners shall not be permitted to construct habitable structures or additions within Exclusive Use areas/Homeowner Association Areas to existing structures within their Exclusive Use Areas and/or Homeowner Association Areas.

16) Specific Plan Amendments

- a) Approval by the HOA is required before applications for minor changes to the Specific Plan are accepted for review by the City through the Administrative Adjustment process.
- b) All amendments shall be acted upon by the City Council pursuant to the

Cervetto Specific Plan

provisions set forth in California Government Code Section 65453 and processed per the provisions for a planned unit development precise plan set forth in Chapter 18.46 of the Municipal Code.

- i) Any proposed changes must first be submitted to the City for review and approval by the Director of Community Development.
- c) In acting to approve an amendment to the Specific Plan, the City Council shall be required to make the following findings:
 - i) That the amendment meets the goals and objectives of the Specific Plan.
 - ii) That any environmental impact associated with the amendment has been adequately addressed.
 - iii) Modifications to the Specific Plan may be appropriate and necessary over time in response to changing conditions.
- d) A minor change to the Specific Plan is defined as any change involving new information to any map or graphic that does not change the effect of any regulation, standard, or guideline as determined by the Director of Community Development. The Director of Community Development is authorized to approve minor changes consistent with the Minor Change definition within the Specific Plan.
- e) A minor change or exemption also includes modifications to the infrastructure plan or other City requirements to ensure compliance with City's Capital Improvement Program.
- f) More significant changes will require an amendment to the Specific Plan.

Cervetto Specific Plan

List of Exhibits

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Vicinity Map	1
Aerial Photograph	2
Vesting Tentative Tract Map No. 17651	3
Vesting Tentative Tract Map Cross Section	3a
Conceptual Site Plan	4
Conceptual Landscape/Irrigation Plans	5
Landscape Cross Section	6
Utilities, Existing	7
Photo Site Inventory	8
Illustrative Site Photo 1&2	9
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Illustrative Site Photo 5&6	11
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WQMP-BMP	21
Internal Fence Plan	22
Street Trash Collection Plan	23

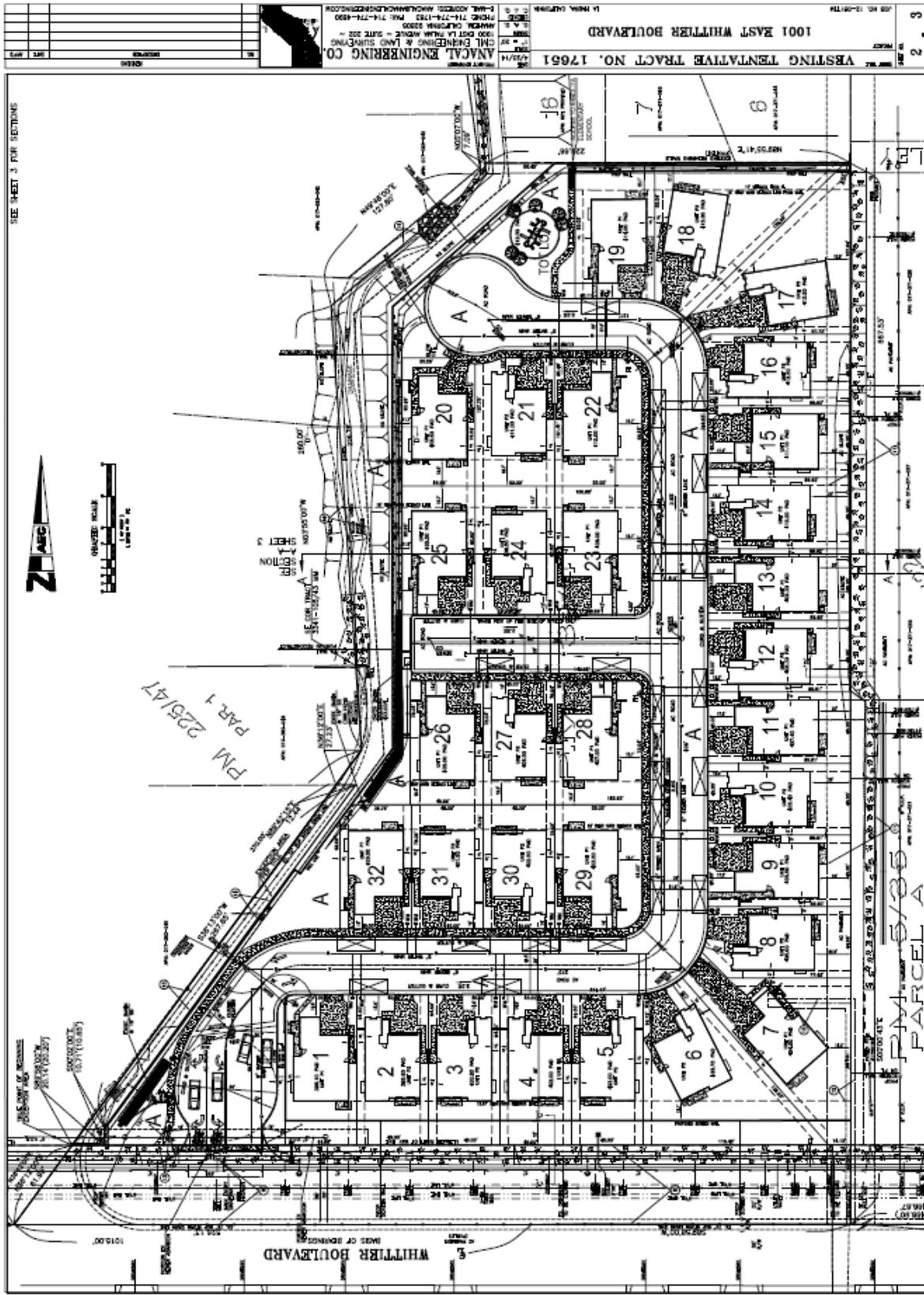
Cervetto Specific Plan

Irrigation Plan

24



EXHIBIT 2
AERIAL PHOTOGRAPH OF THE PROJECT SITE
Source: Terra Server USA



NO. 1	DATE	DESCRIPTION
NO. 2	DATE	DESCRIPTION
NO. 3	DATE	DESCRIPTION
NO. 4	DATE	DESCRIPTION
NO. 5	DATE	DESCRIPTION
NO. 6	DATE	DESCRIPTION
NO. 7	DATE	DESCRIPTION
NO. 8	DATE	DESCRIPTION
NO. 9	DATE	DESCRIPTION
NO. 10	DATE	DESCRIPTION
NO. 11	DATE	DESCRIPTION
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NO. 24	DATE	DESCRIPTION
NO. 25	DATE	DESCRIPTION
NO. 26	DATE	DESCRIPTION
NO. 27	DATE	DESCRIPTION
NO. 28	DATE	DESCRIPTION
NO. 29	DATE	DESCRIPTION
NO. 30	DATE	DESCRIPTION
NO. 31	DATE	DESCRIPTION
NO. 32	DATE	DESCRIPTION

EXHIBIT 3
VESTING TENTATIVE TRACT
MAP &
Conceptual Entry Gate
 Source: Source: ANACAL ENGINEERING, CO.



NO.	DESCRIPTION	DATE	BY

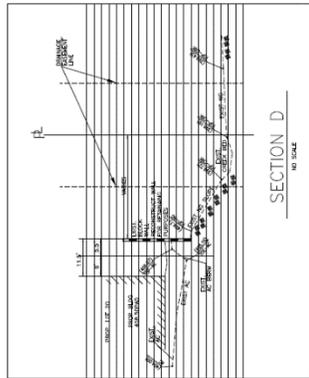
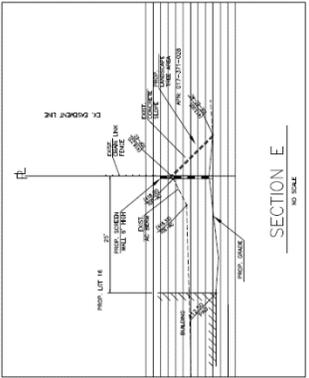
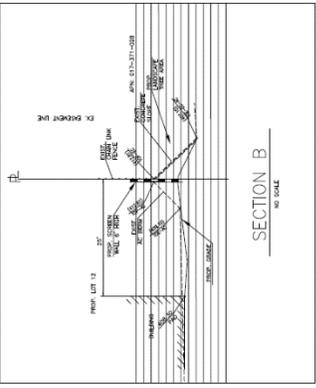
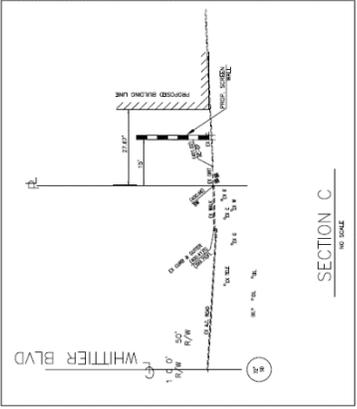
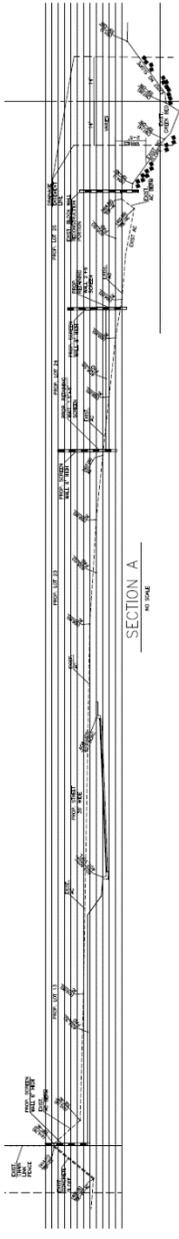


EXHIBIT 3a
VESTING TENTATIVE TRACT
MAP CROSS SECTION
 Source: ANACAL ENGINEERING, CO.

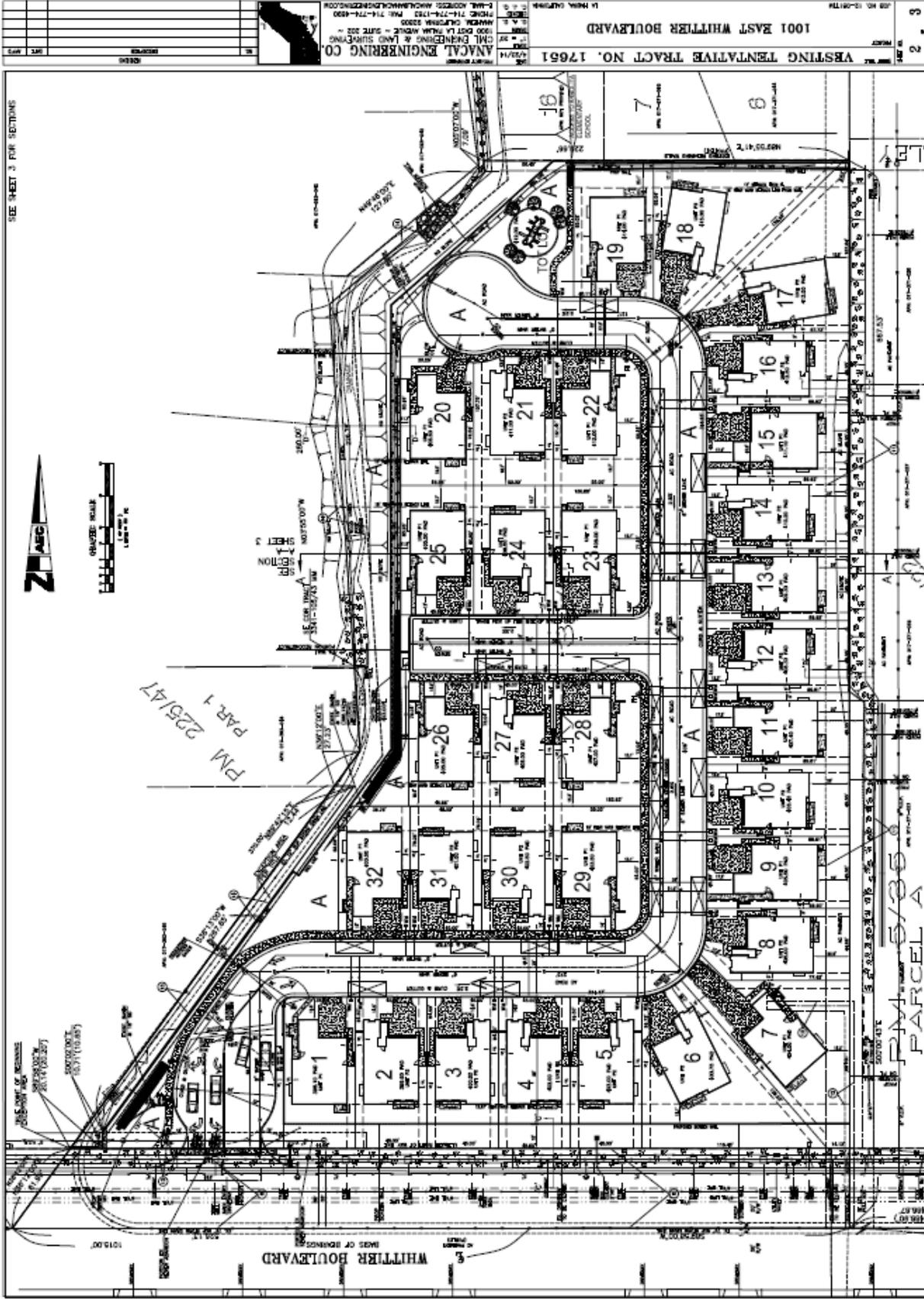


EXHIBIT 4
Conceptual Site Plan
 Source: Source: KTG Group, Inc.

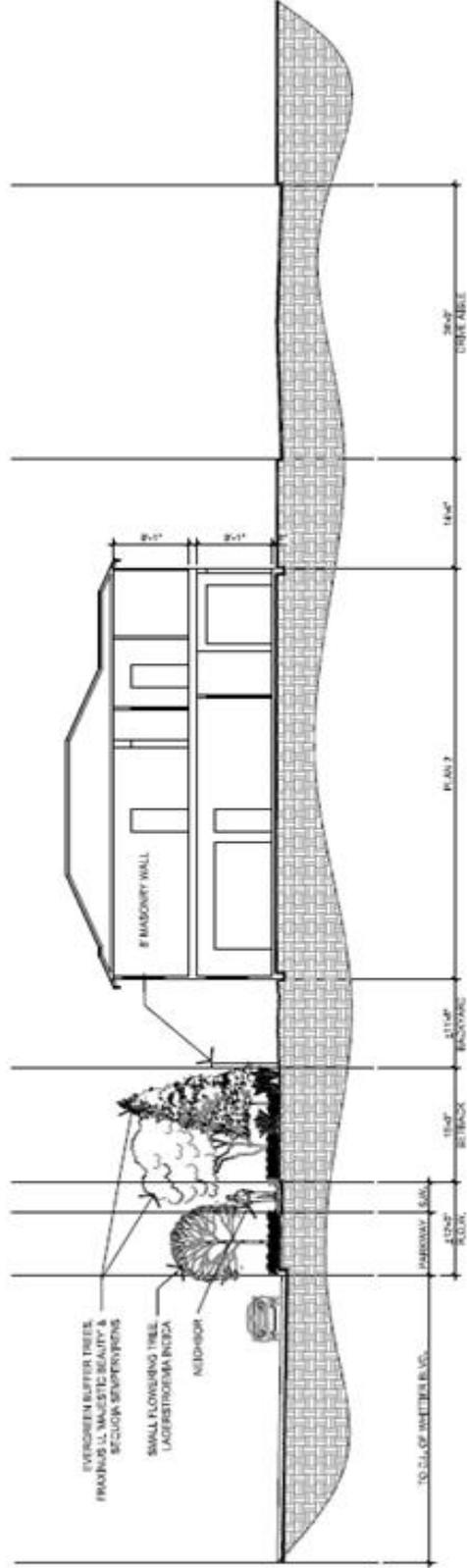


EXHIBIT 6
LANDSCAPE PLAN AND WHITTIER BLVD. PARKWAY CROSS-SECTION
 Source: Wilson Associates

NO.	DESCRIPTION	DATE	BY

ANCAL ENGINEERING CO.
 CIVIL ENGINEERING & LAND SURVEYING
 1800 EAST LA PALMA AVENUE - SUITE 202
 ANAHEIM, CALIFORNIA 92816
 PHONE: (714) 774-1783 FAX: (714) 774-4680
 E-MAIL: ADDRESS: ancale@ancaleengineering.com

ALTA/ACSM LAND TITLE SURVEY
1001 EAST WHITTER BOULEVARD
 JOB NO. 12-0514
 DATE: 5/10/12
 SHEET NO. 2 OF 2

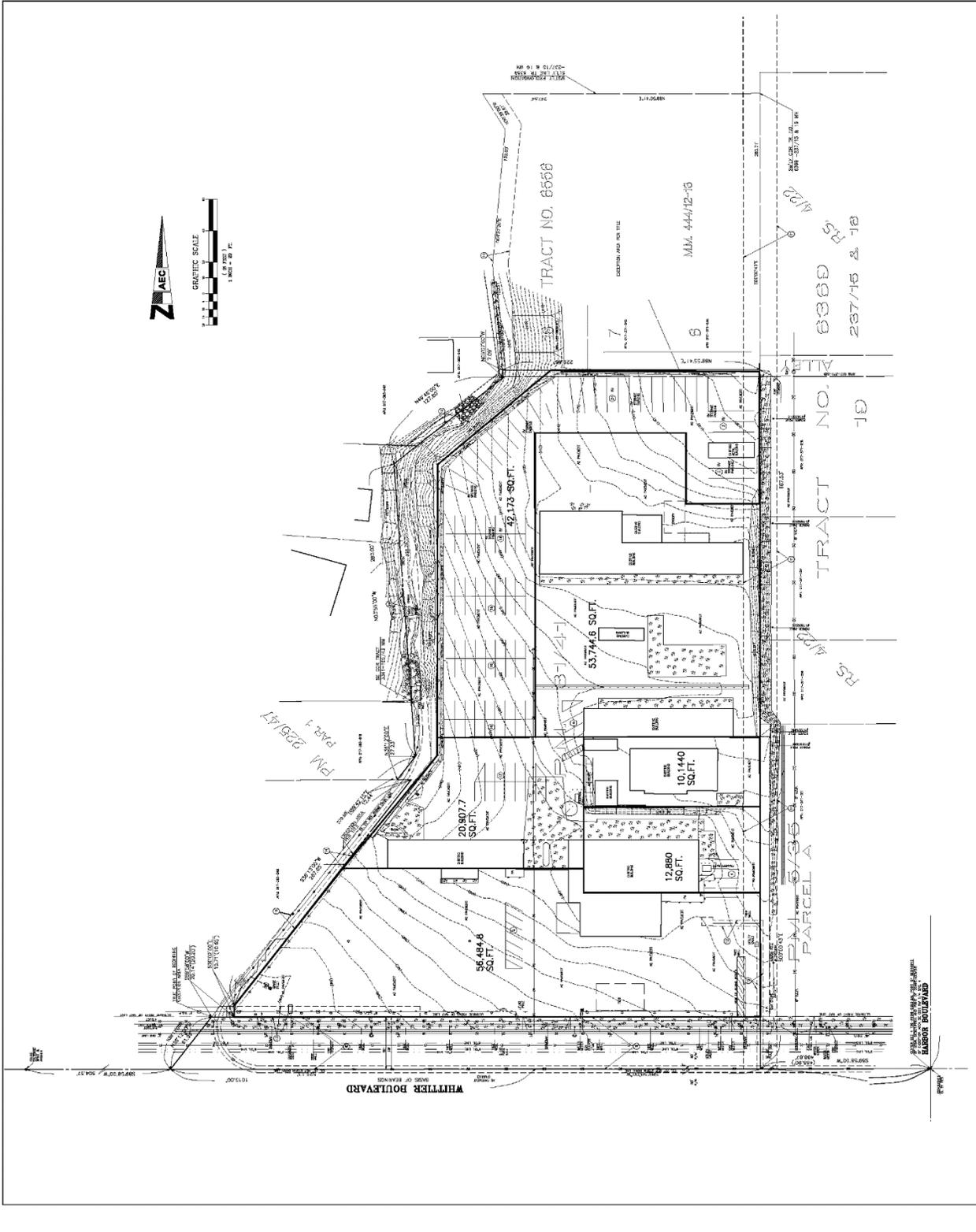


EXHIBIT 7
Existing Utilities
 Source: Arcadis

- 1. View looking south from the parking area in the center of the project site.**
- 2. View of the service bays (Building 4)**
- 3. The rear area is being used for the storage of RV and other vehicles.**
- 4. The body shop is illustrated in this photograph.**
- 5. View looking north from Whittier Boulevard.**
- 6. View looking west along the site's Whittier Boulevard frontage.**

EXHIBIT 8
Photo Site Inventory
Source: Arcadis



View looking south from the parking area in the center of the project site.



View of the service bays (Building 4)

EXHIBIT 9
PHOTOGRAPHS OF THE PROJECT SITE
Source: Blodgett/Baylosis Associates 2013



The rear area is being used for the storage of RV and other vehicles.



The body shop is illustrated in this photograph.

EXHIBIT 10
PHOTOGRAPHS OF THE PROJECT SITE

Source: Blodgett/Baylosis Associates 2013



View looking north from Whittier Boulevard.



View looking west along the site's Whittier Boulevard frontage.

**EXHIBIT 11
PHOTOGRAPHS OF THE PROJECT SITE**

Source: Blodgett/Baylosis Associates 2013

No.	Goal/Policy	Consistency
LU 1	Growth and Change. Sustainable growth and change through orderly and well-planned development that provides for the needs of existing and future residents and businesses, ensures the effective provision of public services, makes efficient use of land and infrastructure, and promotes the health of the community.	The Cervetto Specific Plan is consistent with this goal by recycling an underutilized commercial area and increasing the available city housing stock.
LU 2	Land Use Diversity and Choices for Residents. A mix of land uses that meets the diverse needs of La Habra's residents, offers a variety of employment opportunities, and allows for the capture of regional population.	The Cervetto Specific Plan is consistent with this goal through the introduction of new single-family detached housing stock in a supply constrained city.
LU 3	Neighborhoods, Centers, and Corridors. A city of distinct, compact, and walkable mixed-use centers and corridors, surrounded by diverse and complete residential neighborhoods, and connected to a unifying network of greenways and open spaces.	The Cervetto Specific Plan is consistent with this goal by promoting a mixed use, walkable neighborhood.
LU 4	Quality Community. New development is located and designed to maintain the qualities that distinguish La Habra as a special and safe place to live, work, and play, with well-designed buildings, public places, signage, and open spaces and effective transitions among neighborhoods and districts.	The Cervetto Specific Plan is consistent with this goal through well designed transitions among neighborhoods and districts.
LU 5	City Sustained and Renewed. Land development practices that sustain natural environmental resources, the economy, and societal well-being for use by future generations, while reducing greenhouse gas emissions and impacts on climate change, are maintained.	The Cervetto Specific Plan is consistent with this goal through the preservation and enhancement of the existing green spaces and the introduction of additional open space.
LU 7	Livable Neighborhoods. A City composed of neighborhoods with a variety of housing types that are desirable places to live, contribute to the quality of life, and well maintained.	The Cervetto Specific Plan is consistent with this goal. The proposed single-family residences represent a highly desirable housing type in an infill environment that will contribute to a high quality of life. The gated community will be maintained through a homeowner's association.
LU 8	Single-Family Neighborhoods. Distinct and quality single-family residential neighborhoods distinguished by their identity, scale, and character.	The Cervetto Specific Plan is consistent with this goal inherently.
LU 12	Places to Live, Work, and Shop. A diversity of well-designed districts and corridors containing an integrated mix of commercial, office, and/or housing that enable La Habra's residents to live close to businesses and employment, reduce automobile use, actively engage and enhance pedestrian activity.	The Cervetto Specific Plan is consistent with this goal through the introduction of a single family residential community that promotes walkability to surrounding businesses and employment.
LU 14	Mixed-Use Centers. Compact mixed-use centers at key arterial intersections containing an integrated mix of commercial, office, and/or multi-family housing that are designed to establish the sense of a "village-like" environments that are distinctly identifiable, active, and walkable from adjoining residential neighborhoods.	The Cervetto Specific Plan is consistent with this goal. The introduction of new housing stock at this key arterial intersection, combined with the existing retail and commercial uses within easy walking distance, fulfills the goal of a mixed-use "village-like" environment.

EXHIBIT 12
LA HABRA GENERAL
PLAN CONSISTENCY
ANALYSIS
Source: La Habra 2035 General Plan

ED 5	Property Reinvestment. Increased utilization of existing property through infill development that increases local consumer population and creates functional nodes of land use activity.	The Cervetto Specific Plan is consistent with this goal inherently.
H 1	Housing Development. Adequate housing development by the private sector utilizing existing community facilities and structures; minimizing environmental hazards and incompatible land uses, and enhancing the quality of life in residential neighborhoods to meet the economic, social, health, and transportation needs of all citizens.	The Cervetto Specific Plan is consistent with this goal inherently.
H 3	Equitable Housing Opportunities. Housing opportunities that are adequate for all economic segments of the community regardless of race, color, age, national origin, religion, sex, familial status, or disability.	The Cervetto Specific Plan is consistent with this goal through the introduction of new single-family detached housing stock in a supply constrained city. The developer is contributing an in lieu fee toward the development of affordable housing.
CI 2	An Attractive and Aesthetically Pleasing City. A city distinguished by the high quality of its building, public streetscapes, and open spaces contributing to its desirability as a place to live, work, and shop.	The Cervetto Specific Plan is consistent with this goal through the introduction of enhanced streetscape at a key city gateway.
CI 4	Clarity of Entry. Improvements that distinguish entry to La Habra from surrounding communities.	The Cervetto Specific Plan is consistent with this goal through the introduction of enhanced streetscape at a key city gateway.
AT 3	Walking Environment. Enhanced pedestrian facilities to encourage walking as a mode of travel.	The Cervetto Specific Plan is consistent with this goal through the introduction of a single family residential community that promotes walkability to surrounding businesses and employment.
NTMP 1	Livable Residential Streets. Safer and more pleasant residential streets through reduced traffic speed, volume, and accidents.	The Cervetto Specific Plan is consistent with this goal inherently.
P 1	Parking Resource Management. Efficient parking management system that allocates scarce parking resources and reduces overall parking demand.	The Cervetto Specific Plan is consistent with this goal inherently.
WS 2	Water Conservation Practices. Water conservation methods and techniques incorporated into new rehabilitation and construction.	The Cervetto Specific Plan is consistent with this goal. The state-of-the-art homes incorporate low-flow toilets, drought-tolerant landscaping and bio-swales.
SS 1	Wastewater System. Adequate wastewater collection service and treatment system facilities that minimize adverse effects to water quality and meets existing and future sewer needs.	The Cervetto Specific Plan includes a sewer system that connects to existing waste-water lines and water treatment facilities.
SD 1	Storm Drainage System. Adequate storm drainage services and facilities that preserve water quality, meet existing and future growth needs, and protect residents and property.	The Cervetto Specific Plan is consistent with this goal through the implementation of state of the art WQMP practices.
WQ 1	Water Quality Systems. Protected and improved water and watershed supply and quality.	The Cervetto Specific Plan is consistent with this goal through the implementation of state of the art WQMP practices.
E 2	Energy Conservation. Improved energy efficient environment and reduced energy consumption.	The Cervetto Specific Plan is consistent with this goal. The state-of-the-art homes incorporate energy conservation components that meet or exceed current standards, including energy-star appliances, low VOC materials, high-performance windows, etc...
WR 4	Construction/Demolition Debris. Diverted construction/demolition (C/D) debris that reduces landfill waste and an educated public that has increased awareness of and participation in C/D debris recycling.	The Cervetto Specific Plan includes provisions for recycling of the existing, to-be-demolished improvements, including paving, concrete and metals.
OS 1	Natural Resource Conservation. Open spaces that protect and conserve La Habra's natural resources.	The Cervetto Specific Plan is consistent with this goal through the preservation and enhancement of the existing green spaces and the introduction of additional open space.
OS 2	Parks and Recreation Facilities. Comprehensive parks, recreation, and community facilities that enhance livability, contribute to public health, provide opportunities for meeting and socializing, and are programmed to benefit all members of the community.	The Cervetto Specific Plan is consistent with this goal by providing for off-site recreational facilities serving the proposed sub-division as well as adjacent residences through the payment of park fees.

S 1	K-12 Education. Educational services and facilities that enable kindergarten-, elementary school-, middle school-, and high school-aged residents to excel academically.	The Cervetto Specific Plan is consistent with this goal by providing for educational services and facilities serving the proposed sub-division as well as city-wide residences through the payment of school fees.
W 1	Surface Water and Groundwater. Conservation and protection of La Habra's watershed, surface water, and groundwater resources.	The Cervetto Specific Plan is consistent with this goal through the implementation of state of the art WQMP practices.
AQ 2	Land Use Mix and Balance. A balance of residential, commercial, industrial, recreational, services, and institutional uses that achieve clean air and reduce GHG emissions, while satisfying the needs of the social and economic segments of the population and permitting reasonable planned growth.	The Cervetto Specific Plan is consistent with this goal through the introduction of a single family residential community that promotes walkability to surrounding businesses and employment.
AQ 5	Particulate Emissions. Reduced particulate emissions from paved and unpaved roads, parking lots, and road and building construction.	The Cervetto Specific Plan has been analyzed in an Initial Study and Mitigated Negative Declaration addressing all related environmental issues and providing for mitigation where appropriate.
SM 1	Visual Resource Protection. Preserve significant visual and scenic resources that provide quality of life amenities and act as assets for recreation and commerce.	The Cervetto Specific Plan is consistent with this goal. The existing scenic green space along the westerly boundary will be preserved and enhanced.
NH 1	Geologic and Seismic Hazards. Adverse effects to persons, property, and essential public facilities caused by geologic and seismic hazards are minimized.	The Cervetto Specific Plan has been analyzed in an Initial Study and Mitigated Negative Declaration addressing all probable hazards and providing for mitigation where appropriate.
NH 3	Flood Protection. A community protected from the risks of loss of life, personal injury, and property damage associated with potential flooding hazards.	The Cervetto Specific Plan has been analyzed in an Initial Study and Mitigated Negative Declaration addressing all probable hazards and providing for mitigation where appropriate.
N 1	Noise Environment. Ambient noise levels that are compatible with La Habra's small town character and are not disruptive to the residents' quality of life.	The Cervetto Specific Plan has been analyzed in an Initial Study and Mitigated Negative Declaration addressing all related environmental issues and providing for mitigation where appropriate.
N 2	Mobile Noise Sources. Minimized noise impacts of motor vehicle traffic on sensitive receptors.	The Cervetto Specific Plan has been analyzed in an Initial Study and Mitigated Negative Declaration addressing all related environmental issues and providing for mitigation where appropriate.

SECTION 65450-65457

65450. After the legislative body has adopted a general plan, the planning agency may, or if so directed by the legislative body, shall, prepare specific plans for the systematic implementation of the general plan for all or part of the area covered **by the general** plan.

65451. (a) A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:

(1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.

(2) The proposed distribution, location, and extent and intensity of *major* components of public and private transportation, *sewage*, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.

(3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.

(4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

(b) **The** specific plan shall include a statement of the relationship of the specific plan to the general *plan*.

65452. The specific plan may address any other subjects which in the judgment of the planning agency are necessary or desirable for implementation of the general plan.

65453. (a) A specific plan shall be prepared, adopted, and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.

(b) A specific plan may be repealed in the same manner as it is required to be amended.

65454. No specific plan may be adopted or amended unless the proposed plan or amendment is consistent with the general plan.

65455. No local public works project may be approved, no tentative map or parcel map for which a tentative map was not required may be approved, and no zoning ordinance may be adopted or amended within an area covered by a specific plan unless it is consistent with the adopted specific plan.

65456. (a) The legislative body, after adopting a specific plan, may impose a specific plan fee upon persons seeking governmental approvals which are required to be consistent with the specific plan.

The fees shall be established so that, in the aggregate, they defray but as estimated do not exceed, the cost of preparation, adoption, and administration of the specific plan, including costs incurred pursuant to Division 13 (commencing with Section 21000) of the Public Resources Code. As nearly as can be estimated, the fee charged shall be a prorated amount in accordance with the applicant's relative benefit derived from the specific plan. It is the intent of the Legislature in providing for such fees to charge persons who benefit from specific plans for the costs of developing those specific plans which result in savings to them by reducing the cost of documenting environmental consequences and advocating changed land uses which may be authorized pursuant to the specific plan.

(b) Notwithstanding Section 66016, a city or county may require a *person who requests* adoption, amendment, or repeal of a specific plan to deposit with the planning agency an amount equal to the estimated cost of preparing the plan, amendment, or repeal prior to its preparation by the planning agency.

(c) Copies of the documents adopting or amending the specific plan, including the diagrams and text, shall be made available to local agencies, and shall be made available to the general public as follows:

(1) Within one working day following the date of adoption, the clerk of the legislative body shall make the documents adopting or amending the plan, including the diagrams and text, available to the public for inspection.

(2) Within two *working days* after receipt of a request for a copy of the documents adopting or amending the plan, including the diagrams and text, accompanied by payment for the reasonable cost of copying, the clerk shall furnish the requested copy to the person making the request.

(d) A city or county may charge a fee for a copy of a specific plan or amendments to a specific plan in an amount that is reasonably related to the cost of providing that document.

65457. (a) Any residential development project, including any *subdivision*, or any zoning change that is undertaken to implement and is consistent with a specific plan for which an environmental impact report has been certified after January 1, 1980, is exempt from the requirements of Division 13 (commencing with Section 21000) of the Public Resources Code. However, if after adoption of the specific plan, an event as specified in Section 21166 of the Public Resources Code occurs, the exemption provided by this subdivision does not apply unless and until a supplemental environmental impact report for the specific plan is prepared and certified in accordance with the provisions of Division 13 (commencing with Section 21000) of the Public Resources Code. After a supplemental environmental impact

report is certified, the exemption specified in this subdivision applies to projects undertaken pursuant **to** the specific plan.

(b) An action or proceeding alleging that a public agency has approved a project pursuant to a specific plan without having previously certified a supplemental environmental impact report for the specific plan, where required by subdivision (a), shall be commenced within 30 days of the public agency's decision to carry out or approve the project.

This section does not supersede but provides an alternative procedure to Section 21080.7 of the Public Resources Code.

Code No.	Code Clause	Compliance
65450	After the legislative body has adopted a general plan, the planning agency may, or if so directed by the legislative body, shall, prepare specific plans for the systematic implementation of the general plan for all or part of the area covered by the general plan.	The Cervetto Specific Plan (CSP) helps provide for systematic implementation of the General Plan for a specific geographic area of the City covered by the General Plan
65451	<p>(a) A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:</p> <p>(1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.</p> <p>(2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.</p> <p>(3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.</p> <p>(4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).</p> <p>(b) The specific plan shall include a statement of the relationship of the specific plan to the general plan.</p>	<p>(a) The CSP text and accompanying exhibits address the mandated requirements and provide regulatory details.</p> <p>(1) The distribution of permissible residential land uses is covered by the Tentative Tract Map and Site Plan.</p> <p>(2) The Plan contains an infrastructure plan to describe the applicant's responsibilities for provision of sewer, water, and other essential facilities</p> <p>(3) The land use and urban design plans provide regulatory criteria for how the development will proceed.</p> <p>(4) All sidewalks, curbs, gutters, pavements, sanitary sewer lines, water mains, culvert and drainage structures, street signs, street lighting, parkway tree planting and other required improvements in a subdivision shall be installed at the cost of the subdivder and shall conform to grades and specifications established or approved by the city engineer. (Ord. 939 (part 1, 1976).</p> <p>(b) The CSP Introduction 1.0 discusses the relationship of the CSP to the General Plan.</p>
65452	The specific plan may address any other subjects which in the judgment of the planning agency are necessary or desirable for implementation of the general plan.	The CSP also addresses related public policies concerning water quality management and public services, for instance.
65453	<p>(a) A specific plan shall be prepared, adopted, and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.</p> <p>(b) A specific plan may be repealed in the same manner as it is required to be amended.</p>	<p>(a) The Cervetto Specific Plan contains a provision that whenever the public necessity, convenience, general welfare or good zoning practice justify such action, the City Council or the Planning Commission upon its own motion may, or upon the verified application of any interested person shall, initiate proceedings to amend, supplement or change the zones, regulations or districts established by this title.</p> <p>(b) The Cervetto Specific Plan contains provisions, with the exception of amendments changing property from one zone to another, or amendments may be made in the same manner as the zoning ordinance from which this title derives was adopted. (Prior codes 10-37).</p>
65454	No specific plan may be adopted or amended unless the proposed plan or amendment is consistent with the general plan.	The Applicant has provided an analysis under separate cover to demonstrate that the CSP is consistent with the General Plan.
65455	No local public works project may be approved, no tentative map or parcel map for which a tentative map was not required may be approved, and no zoning ordinance may be adopted or amended within an area covered by a specific plan unless it is consistent with the adopted specific plan.	The necessary public works to be implemented by the Developer and the Tentative Tract Map will be constructed consistent with the CSP.

EXHIBIT 14
CERVETTO SPECIFIC
PLAN CODE
COMPLIANCE ANALYSIS
Source: Source: California Government
Code, Section 65450-65457

65456	<p>(a) The legislative body, after adopting a specific plan, may impose a specific plan fee upon persons seeking governmental approvals which are required to be consistent with the specific plan. The fees shall be established so that, in the aggregate, they defray but as estimated do not exceed, the cost of preparation, adoption, and administration of the specific plan, including costs incurred pursuant to Division 13 (commencing with Section 21000) of the Public Resources Code. As nearly as can be estimated, the fee charged shall be a prorated amount in accordance with the applicant's relative benefit derived from the specific plan. It is the intent of the Legislature in providing for such fees to charge persons who benefit from specific plans for the costs of developing those specific plans which result in savings to them by reducing the cost of documenting environmental consequences and advocating changed land uses which may be authorized pursuant to the specific plan.</p> <p>(b) Notwithstanding Section 66016, a city or county may require a person who requests adoption, amendment, or repeal of a specific plan to deposit with the planning agency an amount equal to the estimated cost of preparing the plan, amendment, or repeal prior to its preparation by the planning agency.</p> <p>(c) Copies of the documents adopting or amending the specific plan, including the diagrams and text, shall be made available to local agencies, and shall be made available to the general public as follows:</p> <p>(1) Within one working day following the date of adoption, the clerk of the legislative body shall make the documents adopting or amending the plan, including the diagrams and text, available to the public for inspection.</p> <p>(2) Within two working days after receipt of a request for a copy of the documents adopting or amending the plan, including the diagrams and text, accompanied by payment for the reasonable cost of copying, the clerk shall furnish the requested copy to the person making the request.</p> <p>(d) A city or county may charge a fee for a copy of a specific plan or amendments to a specific plan in an amount that is reasonably related to the cost of providing that document.</p>	<p>(a) The Applicant is paying all necessary public processing fees.</p> <p>(b) The Applicant is paying necessary processing fees and has drafted the CSP at its expense pursuant to City staffing instructions.</p> <p>(c) The Applicant will meet all City requirements.</p> <p>(c1) The Adopted plan will be printed at Applicant's expense and made available in the City Clerk's office for inspection</p> <p>(c2) The Applicant will cooperate with the City Clerk to meet this mandate.</p> <p>(d) The City has established fees for this process</p>
65457	<p>(a) Any residential development project, including any subdivision, or any zoning change that is undertaken to implement and is consistent with a specific plan for which an environmental impact report has been certified after January 1, 1980, is exempt from the requirements of Division 13 (commencing with Section 21000) of the Public Resources Code. However, if after adoption of the specific plan, an event as specified in Section 21166 of the Public Resources Code occurs, the exemption provided by this subdivision does not apply unless and until a supplemental environmental impact report for the specific plan is prepared and certified in accordance with the provisions of Division 13 (commencing with Section 21000) of the Public Resources Code. After a supplemental environmental impact report is certified, the exemption specified in this subdivision applies to projects undertaken pursuant to the specific plan.</p> <p>(b) An action or proceeding alleging that a public agency has approved a project pursuant to a specific plan without having previously certified a supplemental environmental impact report for the specific plan, where required by subdivision (a), shall be commenced within 30 days of the public agency's decision to carry out or approve the project.</p> <p>(c) This section does not supersede but provides an alternative procedure to Section 21080.7 of the Public Resources Code.</p>	<p>(a) The Applicant has assisted the City in preparation of a Mitigated Negative Declaration (MND) for consideration and eventual certification prior to adoption</p> <p>(b) A Mitigated Negative Declaration of Environmental Impact was processed at the same time as the Cervetto Specific Plan.</p> <p>(c) Does not apply</p>



L.A. HABRA SINGLE FAMILY

SummerHill Homes
 18401 Van Leer Ave., Irvine, CA 92614-4279
 Irvine, CA 92612
 949.253.2822
 www.summerhillhomes.com

CONCEPTUAL ELEVATIONS

L.A. HABRA, CA
 1.5.18 HOUSE 100.100.0010

Architect + Planner
 1725 Ocean Ave., Suite 250
 Santa Monica, CA 90401
 310.304.3825



A3.0

**EXHIBIT 15
 CONCEPTUAL
 ELEVATIONS**
 Source: Source: KTGY Group, Inc.



MONTEREY (1/2" = 1'-0")



COTTAGE (1/2" = 1'-0")



MONTEREY - RIGHT



MONTEREY - REAR



MONTEREY - LEFT

MATERIAL LEGEND

1. STUCCO - LIGHT SAND FINISH
2. COMPOSITION SHINGLE ROOF
3. CONCRETE "1" TILE ROOF
4. VINYL WINDOWS (GRIDS AS SHOWN)
5. STORE VENEER
6. ADobe BRICK VENEER
7. METAL SECTIONAL GARAGE DOOR
8. COMPOSITE SHUTTERS
9. METAL POTSHelf
10. DECORATIVE EXTERIOR LIGHTING
11. COMPOSITE OUTLOOKERS
12. EXPOSED RAFTER TAILS
13. EXTENDED FOAM CORNICE
14. STUCCO WAINSCOT
15. WINDOW TRIM, STUCCO O/ FOAM
16. BUILDING TRIM, STUCCO O/ FOAM
17. FIBERGLASS ENTRY DOOR
18. DECORATIVE CARLE END DETAIL
19. 4" PRIVACY FENCE, DESIGN BY OTHERS



EXHIBIT 16
PLAN 1 ELEVATIONS
 Source: Source: KTGy Group, Inc.

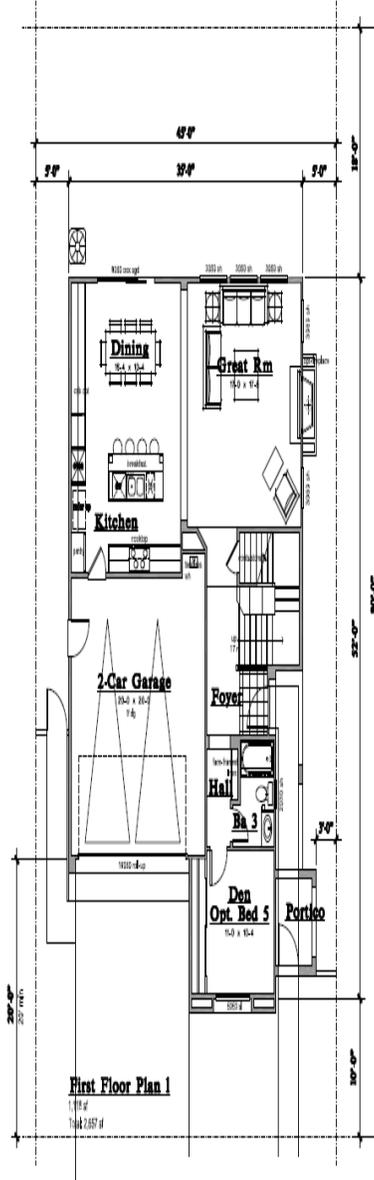
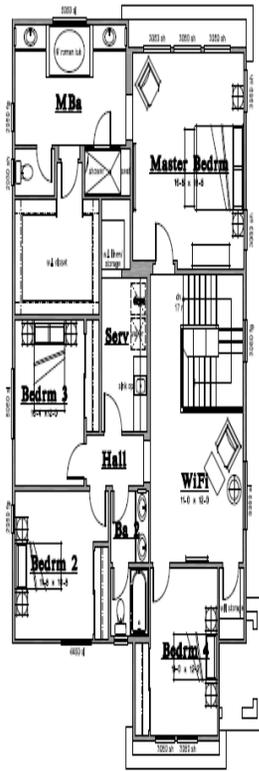


EXHIBIT 17

**PLAN 1 FLOOR PLAN
 ELEVATIONS**

Source: KITGY Group, Inc.

Scale: 1/4" = 1'-0"

LA HABRA SINGLE FAMILY

CONCEPTUAL FLOOR PLAN 1 - 2,657 SF A1.0

SUMMERHILL HOMES
 SUMMERHILL HOMES OF DISTINCTION
 SummerHill Homes
 16431 Van Kaman Avenue, Suite 423
 Irvine, CA 92612
 949.265.9162
 www.summerhillhomes.com

LA HABRA, CA
 8 | 3 | 1 | R | 202-2321 | DATE: 10/11/2016

Architecture + Planning
 1733 Ocean Ave., Suite 250
 Santa Monica, CA 90401
 kitgy.com
 313.334.2623

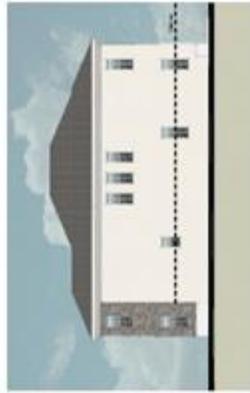




COTTAGE (1/2"=1'-0")



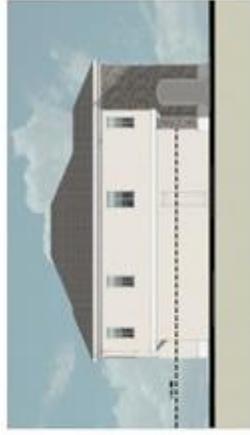
MONTENEY (1/2"=1'-0")



COTTAGE - REAR



COTTAGE - RIGHT



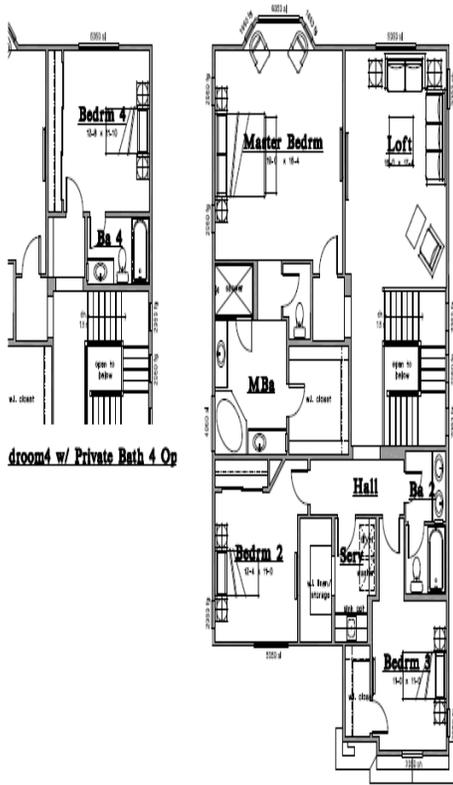
COTTAGE - LEFT

MATERIAL LEGEND

- 1. STECCO LIGHT TANK FINISH
- 2. COMPOSITION SHINGLE ROOF
- 3. CONCRETE 1" TILE ROOF
- 4. VINYL WINDOWS (GRID AS SHOWN)
- 5. STONE VENEER
- 6. ADORS BRICK VENEER
- 7. METAL SECTIONAL GARAGE DOOR
- 8. COMPOSITE SHUTTERS
- 9. METAL PRISMELLY
- 10. DECORATIVE EXTERIOR LIGHTING
- 11. COMPOSITE MOUNTINGS
- 12. EXPOSED RAFTER TAILS
- 13. EXTENDED FRAM CORNICE
- 14. STECCO WAINSCOT
- 15. WINDOW TRIM, STECCO OF FORM
- 16. BUILDING TRIM, STECCO OF FORM
- 17. FIBERGLASS ENTRY DOOR
- 18. DECORATIVE GABLE END DETAIL
- 19. 4" PRIVACY FENCE, DESIGN BY OTHERS



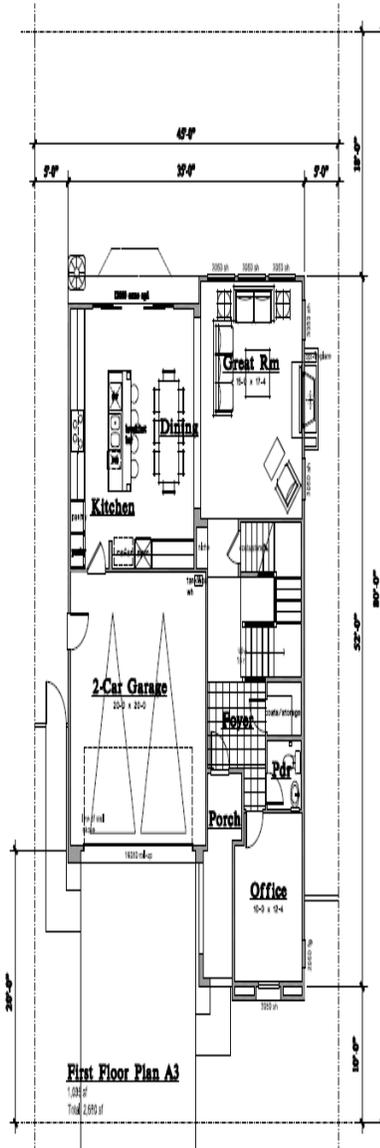
EXHIBIT 18
PLAN 2 ELEVATIONS
 Source: Source: KTG Group, Inc.



droom4 w/ Private Bath 4 Op

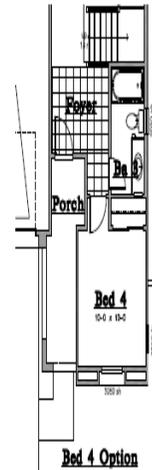
Second Floor Plan A3

1,995 sf
Total 2,680 sf



First Floor Plan A3

1,000 sf
Total 2,680 sf



Bed 4 Option

EXHIBIT 19
PLAN 2 FLOOR PLAN
ELEVATIONS
Source: Source: KTGy Group, Inc.

Scale: 1/4" = 1'-0"

LA HABRA SINGLE FAMILY

CONCEPTUAL FLOOR PLAN A3 - 2,680 SF A2.0



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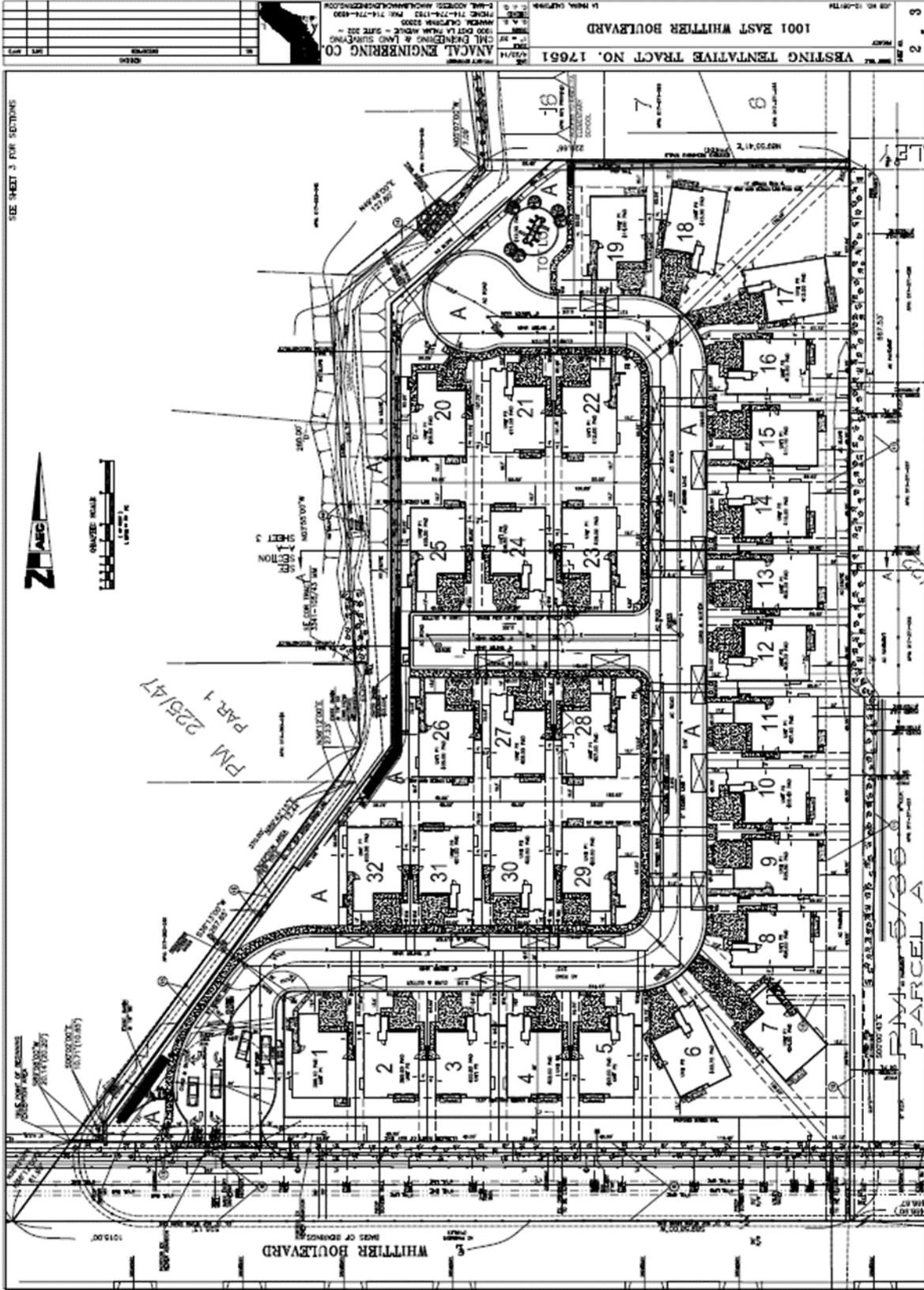


EXHIBIT 20
PROPOSED STORM,
WATER, & SEWER
IMPROVEMENTS
Source: Source: KTG Group, Inc.



Section V Inspection/Maintenance Responsibility for BMPs

Fill out information in table below. Prepare and attach an Operation and Maintenance Plan. Identify the mechanism through which BMPs will be maintained. Inspection and maintenance records must be kept for a minimum of five years for inspection by the regulatory agencies. Refer to Section 7.II 4.0 in the Model WQMP.

BMP Inspection/Maintenance			
BMP	Reponsible Party(s)	Inspection/Maintenance Activities Required	Minimum Frequency of Activities
N1 Education for property owners, tenants and occupants	Owner / POA	Provide literature and instruction pertaining to environmental awareness	Once yearly and for new owners, tenants and occupants
N2 Activity restrictions	Owner / POA	Report any violations relating to activity restrictions listed herein. Restricted activities include: Vehicle maintenance with potential for spills of toxic material. (see also N11)	Continuous
N3 Common area landscape management	Owner / POA	Hire contractor familiar with Orange County guidelines for use of fertilizers and pesticides. Maintain all landscape equipment in proper working order	Once every 2 weeks

EXHIBIT 21

WQMP-BMP

Source: Water Quality Management Plan Tract 17651

SP-6 Cervetto Specific Plan

Water Quality Management Plan (WQMP)
Tract No. 17651



BMP Inspection/Maintenance			
N4 BMP maintenance	Owner / POA	Provide maintenance as instructed in all sections of this plan	Continuous

BMP	Reponsible Party(s)	Inspection/Maintenance Activities Required	Minimum Frequency of Activities
N11 Common Area Litter Control	Owner / POA	Inspect drive and common areas, clean and dispose of all litter. Report any violations to the owner	Once every two weeks
N12 Employee Training	Owner / POA	Educate all employees on environmental awareness. Instruct on proper use of chemicals and cleanup procedures	Once yearly prior to storm season
N14 Common Area Catch Basin Inspection	Owner / POA	Inspect catch basin, clean debris; replace filters as required by manufacturer's specifications. Repaint "No dumping-drains to ocean" with fades 40%	Bi-monthly from April 15 - October 15; monthly from October 15 - April 15

SP-6 Cervetto Specific Plan

Water Quality Management Plan (WQMP)
Tract No. 17651



N15 Street Sweeping Private Streets and Parking Lots	Owner / POA	Sweep parking and drive areas. No hosing down of areas is allowed. Dispose of debris offsite	Bi-monthly from October 15 - April 15
Irrigation	Owner / POA	Inspect for siltation of debris washing out of planters. Sweep silt to planters and check amount of irrigation used and for properly functioning irrigation. Check irrigation system for leaks and overspray, provide maintenance as required.	Once every 2 weeks
Landscape	Owner / POA	Check for landscape to be in healthy conditions. Replace dead or barren areas with plants consistent with approved landscape plans.	Once every 2 weeks
Storm Drain Stencilling and Signage	Owner / POA	Check signage. Re- paint when fades 40%	Once yearly
Treatment Control BMP	Owner / POA		

SP-6 Cervetto Specific Plan

Water Quality Management Plan (WQMP)
Tract No. 17651



Vegetated Swale	Owner / POA	Inspect for debris, replace dead vegetation.	During regular landscape maintenance
Biological filtration planter	Owner / POA	Inspect biological retention planters, replace dead plants and barren areas with plants consistent with the approved landscape plans. Inspect 24 hours after significant rain event. If standing water is found replace soil media.	After first significant rain event and during regular landscape maintenance

Owner Statement of Responsibility:

As the owner of the residential subdivision at 1001 E. Whittier Blvd., La Habra, CA, I am aware of the maintenance responsibilities of the proposed BMPs. A funding mechanism is in place to maintain the BMPs at the frequency stated in the approved SUSMP. This responsibility shall be transferred to the individual owners through the HOA upon project closeout.

Owner: _____
 Signed: Keven D. Doherty
 Name: Keven D. Doherty
 Title: VP Development
 Company: SummerHill Homes
 Address: 18401 Von Karman, Suite 420, Irvine, CA 92612
 Telephone No. 949-25-9002
 Email Address: kdoherly@shhomes.com

SP-6 Cervetto Specific Plan

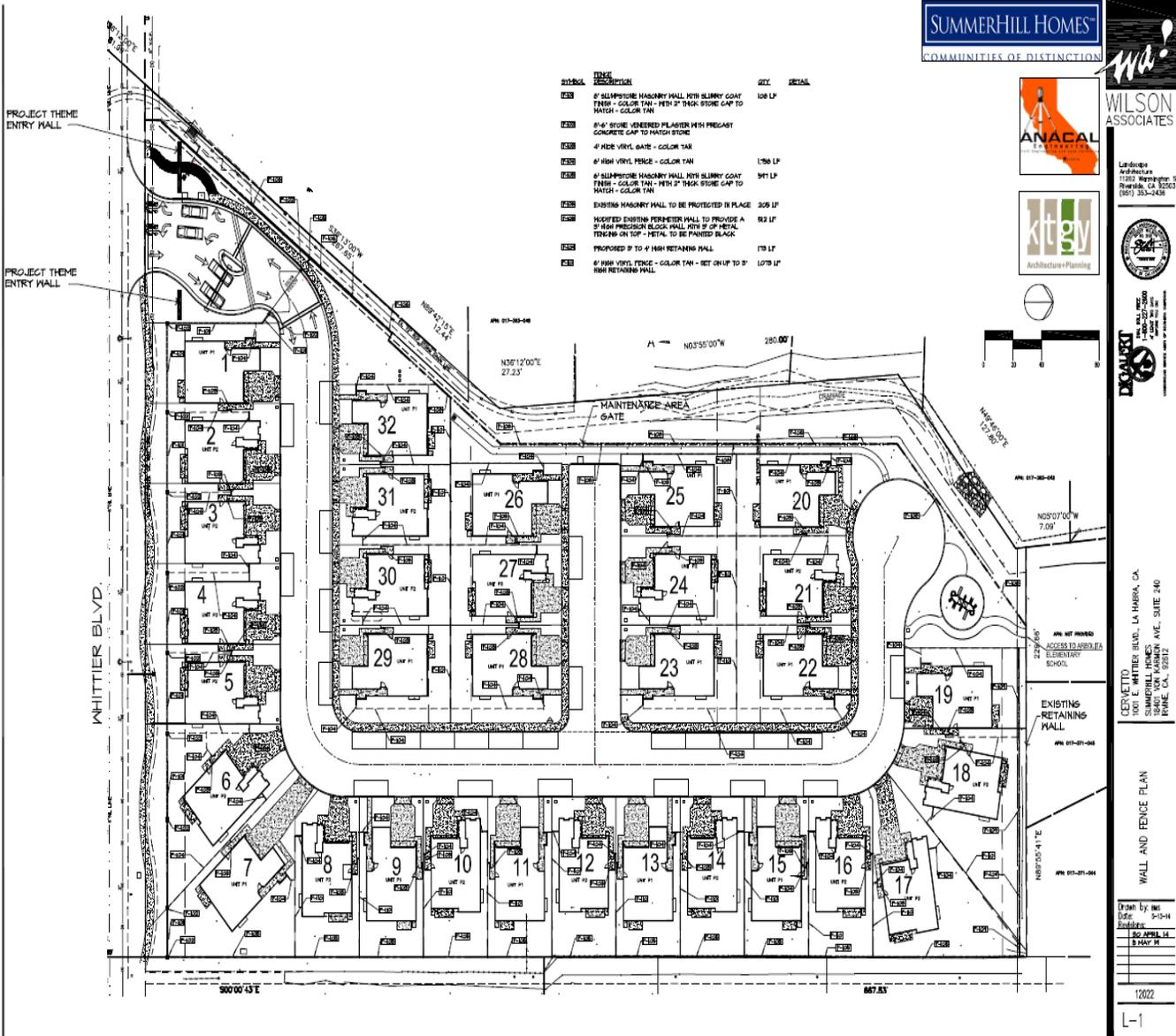


EXHIBIT 22 INTERNAL FENCE PLAN Source: Source: ANACAL Engineering Co.

EXHIBIT 24

IRRIGATION PLAN

TO BE SUBMITTED