

Chapter 5

DESIGN GUIDELINES

In an effort to create a unique characteristic of La Habra Boulevard, a Early California Spanish Style architecture was selected to recreate the image of the boulevard's rich history. In 1988, the La Habra Committee on the Bicentennial of the United States Constitution, acknowledged La Habra Boulevard as the "Boulevard of the Bells" honoring the route that originally marked the El Camino Real in 1906, signifying the first settlers of the La Habra Valley traversed this route. The city's namesake is believed to be translated as the "the opening" or the "the pass", landmarking the importance of this passage way through the La Puente Hills. Replicas of the 1906 Mission Bells have been placed at significant historical sites along that route. There are 8 such bells on the boulevard complimented with the Mission Bell Street lights. The following design guidelines for building renovation and new constructions are established to effectuate the achievement of the overall aesthetic goals and objectives of the Specific Plan. These guidelines are especially designed to provide applicants with a variety of options in achieving the architectural effect of the Early California Spanish Style.



A. FACADE TREATMENTS

1. **Building Exterior Finishes.** All finishes on the street elevations shall be smooth, semi-smooth or light sand exterior plaster or brick masonry (the intent is to make the wall surface appear to be plastered masonry). The Planning Commission must review all other proposed textures.
 - a. The use of neon as an architectural feature is permitted, provided that it is well integrated with the building façade and adequately maintained. The use of neon is subject to review by the Planning Commission.

LA HABRA BOULEVARD SPECIFIC PLAN

2. **Accent Materials/Treatments.** Accents shall include at least 3 of the following:
 - a. Arcades or Colonnades (with circle arches, bows or heavy wood timber.)
 - b. Arches or Bows
 - c. Brick (new or used)
 - d. Ceramic Tile
 - e. Clay Pipe Vents
 - f. Cloth Awnings
 - g. Columns (with plaster banding)
 - h. False second floors treatments (balconies, window, etc.)
 - i. Plaster Banding or built up plaster elements
 - j. Stone
 - k. Wood (rough sawn heavy timber)
 - l. Wrought Iron

 3. **Colors.** The following color requirements shall apply to the renovation of existing and construction of new structures within the La Habra Boulevard Specific Plan Area.
 - a. Earth tones shall be used as the base against which bolder, but not necessarily brighter, colors would be used as an accent to articulate design details.
 - b. Alternative colors may be used upon approval by the Planning Commission.

 4. **Exterior Pavement Treatments.** All paved areas adjacent to any public sidewalk or setback area shall consist of at least one of the following materials:
 - a. Brick
 - b. Ceramic Tile
 - c. Stamped or Colored Concrete
 - d. Stone Pavers
 - e. Or alternate materials as approved by the Planning Commission

 5. **Windows and Doors.** All windows shall conform to the following requirements:
 - a. At least 20% of the building façade shall be in glazing. This percentage may be reduced if a courtyard is provided.
 - b. All windows and doors shall conform to the Early California/Mission Style architecture.
 - c. All aluminum storefronts shall be painted or anodized with an accent color approved by the Planning Commission. No bare aluminum shall be used.
 - d. The use of reflective “mirror”-type glass windows (glazing) or “mirror”-type reflective film and glass and metal panels is not permitted.
 - e. All windows and doors shall have accent treatments, which include at least 3 of the following:
 1. Awnings and/or Eyebrows
 2. Arched or Bowed
 3. Double Doors (with or without windows)
 4. False Balcony
 5. Muttons & Mullions (divided lights – applied or real)
 6. Plaster bands
 7. Recessed opening
 8. Wood Shutters
 9. Wood Lintels
 10. Wrought Iron
 11. Or other treatments as approved by the Planning Commission
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LA HABRA BOULEVARD SPECIFIC PLAN

ACCENT MATERIALS

Arcades or Colonnades



Arches



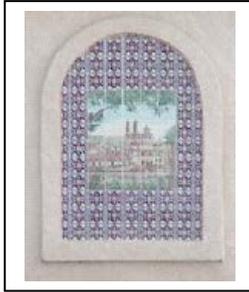
Bows



Brick (new or used)



Ceramic Tile



Clay Pipe Vents



Cloth Awnings



Columns (with plaster banding)



Second floors treatments



Plaster Banding or built up plaster elements



Wood (heavy timber)



Wrought Iron



Stone

LA HABRA BOULEVARD SPECIFIC PLAN

DOOR and WINDOW TREATMENT

Awnings



Arches



Bows



Double Doors



False Balcony



Muttons & Mullions



Plaster Bands



Recessed Openings



Shutters



Wood lintels



Wrought Iron



LA HABRA BOULEVARD SPECIFIC PLAN

Exterior Pavement Treatments

Brick



Ceramic Tile



Stamped or Colored Concrete



Stone Pavers



ROOF MATERIALS and FORM

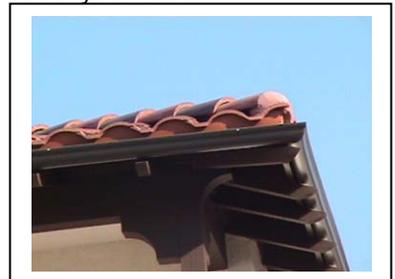
Chimneys



Finials



Heavy Timber



Towers



Tile treatments



B. ROOF MATERIAL AND FORM

The following treatments are required on all roofs to enhance and establish design consistency:

1. Roof vents and appurtenances shall be painted a color which will match the roof color.
2. All tiles used on roofs shall be clay or concrete barrel or "s" tiles. Tile colors shall be mixture with a minimum of 70% terra cotta. A material of similar texture, color consistency, durability and fire retardant qualities may be used upon approval of the Planning Commission. Each tile shall be non-reflective (unglazed) for a soft finish look. Plastic, metal, woodshake, and asphalt tiles shall not be permitted.
3. Roof accents shall include at least 1 of the following:
 - a. Chimneys (real or false)
 - b. Finials
 - c. Heavy Timber Eaves & Beams
 - d. Tile treatments (tiles at the ends of the eaves may be double or triple layered with exposed rusticated mortar to emphasize thickness.)
 - e. Tower element
 - f. Or other treatments as approved by the Planning Commission
4. Roof form can consist of Flat, Mansards, Sloped (Hip or Gable), or any combination provided that the architectural requirements for each type are met.
5. Mansard type roofs may not have a slope of greater than 5:12.
6. Material on sloping roofs of the same buildings shall be the same on all roof surfaces of the same building.
7. A 3:12 to 5:12 (vertical: horizontal distance) roof pitch is required for all main roof surfaces with the exception of arcades or colonnades.
8. Roof pitch for attached arcades or colonnades shall be a minimum 2:12. Roof types shall be restricted to low pitch gable roofs, with the occasional use of a hip roof or shed roof as an accent at the end of the building.
9. Flat roofs with parapet walls to screen rooftop equipment are acceptable provided that all screening materials shall be consistent with the wall treatment materials listed in section "A.2 Accent Materials/Treatments".
10. Solar panels are to be flush with the roof slope and screened from view.
11. Mechanical equipment and utilities shall be architecturally screened from view. Rooftop mechanical equipment and appurtenances to be used in the operation or maintenance of a building shall be arranged so as not to be visible from any point at or below the roof level of the subject building. This requirement shall apply in construction of new buildings that results in significant changes in such rooftop equipment and appurtenances. The features so regulated shall in all cases be either enclosed by outer building walls or parapets, or grouped and screened in a suitable manner, or designed in themselves so that they are balanced and integrated with respect to the design of the building. Minor features not exceeding one foot in height shall be painted but otherwise exempted from this regulation.

C. AWNINGS

1. All awnings shall be presented to the Planning Commission for review.
2. Cloth awnings will be permitted to provide shade to a storefront and identification through graphics. Metal and glossy vinyl awnings are prohibited. Colors may include earth tones and bright colors as approved by the Planning Commission. Fade-resistant fabrics should be used and replaced no less often than once every three years.
3. Signage will be restricted to the horizontal edge of the awning. In special cases, with Planning Commission approval, signage may be permitted on the sloped elevation of the awning. This signage may include logos or graphics.
4. Awnings shall be integrated with the architectural design character of the structure. They shall be placed to complement the rhythms established by storefront windows, doors, columns, cornices, and other elements and not overlap or obscure any significant design feature.
5. An awning may project no more than four (4) feet from the structure's facade and shall be a minimum of eight (8) feet above the sidewalk.
6. All new awnings in integrated storefront or centers shall match or substantially conform to existing approved awnings.
7. All awnings over public property shall be retractable.
8. All awnings require approval of permits by the Building Official.

D. SECURITY/ACCESS

Security systems for businesses along La Habra Boulevard are recommended to protect the safety of customers and property. Specific architectural measures shall include the following:

1. Exterior Lighting

All new development or major remodeling shall include illumination of the property using light standards or building mounted lights, which enhance the streetscape. Standards should be oriented to the pedestrian level and placed to shed light on the entrances to the shops, walkways, courtyards and parking lots.

2. Interior Spaces

Storefront windows should be illuminated and allow visual observation of interior spaces from the exterior.

3. Street Addresses

Street address numbers shall be posted in minimum 10 inch high letters on both the front and any rear elevation which faces an alley for all structures for loading/delivery, customer convenience and emergency personnel.